



Embrace Abbeydale



Tender pack for works to improve visitor experience

Abbeydale Industrial Hamlet, Sheffield, S7 2QW, UK



Issued June 2025

Responses by 9am on Tuesday 1st July

Sheffield Museums Trust is a registered charity – number 1194032

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1. Sheffield Museums and the works required

- 1.1 Sheffield Museums is seeking to engage a contractor to carry out refurbishment and access improvement works at Abbeydale Industrial Hamlet, as part of Embrace Abbeydale: a project funded by [The National Lottery Heritage Fund](#), alongside further support from Sheffield Museums, Sheffield City Council and the J G Graves Charitable Trust.

Abbeydale Industrial Hamlet, is a Scheduled Monument and the hamlet includes Grade 1*, Grade 1 and 2 listed buildings. Scheduled Monument Consent has been granted for the works listed. We are awaiting the outcome of a planning application for the installation of the play area. This is expected by 25th June. The regrading works past the Manager's House will provide access to the play area and as such is dependent on that going ahead.

The areas requiring works are:

- a) Internal renovation of the former workers' cottages, to create a new space for an exhibition space and shop.
- b) Regrading of the ramp access to the Manager's House garden to provide level access to the proposed play area, including external repointing to the house.

These works form the foundations of improvements to the visitor experience.

- 1.2 Abbeydale Industrial Hamlet played an early and significant part in Sheffield's story of steel production. Skilled craftspeople have forged and ground edged tools, particularly scythes, there since the mid-1700s. It is the most complete example of an integrated water powered industrial works in existence and is of outstanding international significance. It is a Scheduled Monument with Grade I and II listed buildings and it is a working museum, a workplace for skilled makers, and increasingly a haven for wildlife and nature.

- 1.3 Sheffield Museums Trust is the independent charity that operates six of the city's leading museums and heritage sites: Abbeydale Industrial Hamlet, Graves Gallery, Kelham Island Museum, Millennium Gallery, Shepherd Wheel and Weston Park Museum. Established in 2021, through the merger of Sheffield Industrial Museums Trust and Museums Sheffield (Sheffield Galleries and Museums Trust), the charity cares for the city's collections of art, human history, and natural science, alongside the Guild of St George's John Ruskin collection and provides a home for the Ken Hawley Collection Trust's Hawley Tool Collection.

Our purpose is to enrich life in Sheffield and our vision is to create welcoming and inspiring experiences for everyone. We work with communities to tell remarkable stories of Sheffield and its people, and celebrate its reputation for excellence in craft, making and innovation. Together with local, regional and national partners,

we showcase home-grown creative talent and bring outstanding cultural experiences to the city.

We believe that the museums and collections we care for belong to everyone and we know that connecting with them can make people's lives better. We know that people encounter many barriers that make connecting with their museums and collections difficult. We are committed to making long-lasting changes so more people can use the museums to learn and reflect, and to find joy and inspiration.

Sheffield Museums is committed to becoming an anti-racist organisation and embedding equity, diversity and inclusion across all aspects of the organisation from the collections and programming to policies, procedures and workforce development.

1.4 Abbeydale Industrial Hamlet represents and encapsulates Sheffield's reputation as an influential centre for the development of metallurgy and metal working industries.

Through the Embrace Abbeydale project we want to ensure that the Hamlet inspires the next generation of wonder-smiths, engineers, entrepreneurs and makers and stimulates curiosity and creativity in all its visitors. It will become a resilient, sustainable hub for local communities, a base for makers, a working site and a great day out for visitors of all ages.

The funding Sheffield Museums has secured will enable the introduction of new interpretative materials to help visitors better connect with the site's rich history, restoration of the Boring Shop and Blowing Engine waterwheel, a new welcome area with a shop, extended car park, new family resources including a play area, and more.

In 2022-23 we welcomed approximately 11,000 visitors to Abbeydale Industrial Hamlet. We are currently open seasonally, from April to October, although our longer-term ambition is to extend this for more of the year. We anticipate an increase in visitor numbers to 16,125 in 2026.

1.5 There are a number of site constraints to consider for work planned at the Hamlet:

- a) It is open to visitors from Thursday to Sunday and consideration should be given to how works could be delivered safely during opening hours.
- b) The site is of historic significance and is protected under law.
- c) Access to spaces can be difficult so please consider safe access, management of materials and how to deliver avoiding use of heavy machinery.

- 1.6 The main point of contact at Sheffield Museums will be Pamela Cunningham. Working hours are negotiable but we envisage 8.30am-4.30pm. Welfare will be provided by Sheffield Museums, contractors will be sharing our staff break area with our team.
- 1.7 This package of works including snagging, must be completed by 30th September (but ideally earlier) and within budget agreed, in order to be able to access the funding.
- 1.8 We propose that, at the minimum, warranty should include a snagging period, followed by a 12-month defects liability period covering all works.



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CHA 2416 - AIH Visitor Improvements

Scope of Works

Revision: D

Project description	Access improvements and external maintenance in connection with the installation of a new playground, and; Alterations to the visitor exhibition space.
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1	General Items		
Ref	Item	Requirements	Notes
1.01	Principal Contractor	Act as the Principal Contractor as defined by the CDM (Construction and Design Management) regulations 2015 and the Building Safety Act (Building Regulations) 2023.	
1.02	Site Setup	Supply, erect, maintain, and make alterations to a perimeter hoarding to the front of the site to ensure the security of the site and safety of the public for the duration of the works. Provide adequate security systems to prevent any unauthorised access, record visitors, and allow access only by authorised persons. The contractor shall also be responsible for the security of all tools and equipment on site and have adequate insurance to replace items in the event of theft.	
1.03	Building Control	Shall appoint an approved inspector and liaise with the appointed Building Inspector and arrange for site inspections at the relevant times during the works, and comply with any notices, provide further information relating to Contractor Designed elements to the satisfaction of the Building Inspector.	
1.04	Waste & Recycling	Any waste material or debris is to be removed from site and disposed of or recycled appropriately. Facilities should be provided on site for the segregation of waste and waste to landfill should be minimised.	
1.05	Insurance	For the duration of the project, hold suitable public liability insurance, with a level of cover to be agreed with the Client. A certificate of insurance should be submitted to the on return of the Tender.	
1.06	Cleaning	Carry out a ‘sparkle clean’ to the site on Practical Completion of the works.	
1.07	Chatels	Client to confirm if all existing furnishings and displays are to be removed from the exhibition rooms. If any loose items are to be retained, the Contractor must arrange for these to be re-positioned / stored and appropriately handled to avoid any damage to exhibits during the works.	
1.08	Designs	The contractor should maintain a full set of the latest design information on site, and notify the contract administrator of any divergences in information. Design any temporary works (to be prepared by a suitable qualified engineer if necessary).	

2	Strip Out / Demolition		
Ref	Item	Requirements	Notes
2.01	Site Protection	Temporary boarding should fitted to the windows on the inside to prevent glass breakage. Temporary boarding should not be fixed to the window frame to avoid damage to the frames. To be removed by contractor and make good on completion.	
2.02	Plasterboard	All plasterboard surfaces and walls o be carefully removed as indicated on the demolition plans.	
2.03	Trunking	Any plastic trunking to walls and ceilings to be removed	
2.04	Electrical	All sockets and light switches to be removed. Electrical supply into the exhibition rooms needs to be safely disconnected so that all existing wiring can be removed before exposing the stonework behind. Including existing heaters. Electrical supply into the exhibition rooms should be investigated and disconnected before staring works.	
2.05	Wall Repairs	Following removal of plaster, the exposed stonework is to be assessed by the Architect / Surveyor. Provide a provision sum for locally filling / packing / re-pointing the stonework. This should be carried out in advance of the lime wash and electrical work. For any larger voids, these should be filled with stonework arising from creating new doorway. Any mortars must be a non-hydraulic (hot-lime) mortar mix.	
2.06	Vinyl	Neatly cut out and remove the section of vinyl flooring beside the entrance door to the exhibition room (where the matt well is to be laid). Retain this section of vinyl for re-use on site where the new door-way is to be formed.	

3	Electrical Works		
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Ref	Item	Requirements	Notes
3.01	Sockets	New switched sockets in exhibition rooms as indicated on electrical layout.	
3.02	Lighting	New spot lights and feature lighting in existing ceiling as indicated on electrical layout.	
3.03	Space Heating	New electric panel heater to each room as indicated on electrical layout. Include for fitting additional fuse spurs to locations indicated for additional radiators to be fitted / re-positioned if required at a latter date.	
3.04	Data	New CATV data outlet for site wi-fi.	No data outlet found in exhibition space. Client to confirm if required / in budget. (Client to make arrangements with existing contractor).
3.05	Re-wire	Full re-wire, first and second fix by qualified electrician to latest IET regulations as described on electrical layout.	
3.06	Smoke detection	Existing smoke alarms to be retained.	
3.07	Conduit	New electrical first fix not to be chased out of the masonry. Provide and fix new surface mounted conduit as described on electrical layout. Fixings to be in mortar joints of exposed stonework only. Conduit to be fixed after lime washing. All exposed conduit to be black (as sockets and switch plates), either source a pre-finished black metal conduit or decorate plain galvanised conduit using a suitable spray-applied paint. If painting conduit on site, ensure this is done in a suitable location and prior to installation.	
3.08	Emergency lighting	Provide and fit new emergency lighting as described on electrical layout and in accordance with BS 5266.	
3.09	Exit Signage	Provide and fit new illuminated emergency exit signage above the entrance door, in accordance with ISO 7010 and BS 5266.	

4	Structural Works		
Ref	Item	Requirements	Notes
4.01	Demolition	Create new opening between exhibition rooms. Stone arisings to be retained for re-use on site in a location to be agreed with Client.	
4.02	Lintels	Install pre-cast concrete lintels and pad-stones to Structural Engineer's design. Allow for a suitable substrate (such as wood wool board) to be fixed to the underside of the lintels to act as a substrate for a lime plaster finish to the underside of the lintels.	
4.03	Making good	To reveals of new doorway, re-point and reconsolidate stonework to form fair faced finish ready to receive lime plaster finish as surrounding walls.	

5	Joinery Works		
Ref	Item	Requirements	Notes
5.01	Windows	<p>NOTE: The condition and build-up of the plaster to the splayed window reveals is not fully understood. The proposals are to retain the plaster around the window reveals and under the lintels. For the 2no. windows on the front elevation, also retain the plaster beneath the window cill.</p> <p>In exhibition room 1, remove the desk / worktop fitted above the window board.</p> <p>Allow for stripping and sanding the existing window boards ready to re-decorate.</p> <p>Provide a softwood architrave around the windows to match the new skirting boards. The architraves should be 50mm high and decorated as the skirting boards. Architraves to the front 2 windows are to be down the floor. Architraves to the rear window are to be seated on the existing window board.</p> <p>Include for removing the timber curtain tracks above each window.</p>	
5.02	Door infill	<p>In room 1, remove the sliding door providing access to the 'volunteer hub' in the room behind and construct timber stud work in-fill to separate the two rooms.</p> <p>Timber stud-work should be min 63mm CLS timber and suitably fixed to the surrounding walls on all sides. Position the stud-work in the centre of the existing opening to form an equal sized niche on both sides of the wall.</p> <p>Provide 12mm standard plasterboard behind a 12mm OSB pattress board on both sides to allow the stud work to support shelving.</p> <p>Gypsum plaster skim to both sides. To be decorated with lime wash on the side in the exhibition room as the exposed stonework.</p> <p>Paint finish on the reverse side in the 'volunteer hub'. provide mist coat, base coat, and top coat. Client to advise on paint colour in exhibition room, assume white matt finish.</p>	

5.03	Skirting	Provide and fit new softwood skirting boards to all areas in the exhibition rooms. To be 200mm high 'lambs tongue' profile. Refer to drawing no. 2416-50 for details. Paint finish in white satinwood. Architect to approve skirting profile prior to installation.
5.04	J Rail	Install new 'J rail' to perimeter of walls for hanging exhibition display boards in locations indicated on proposed plan. Client to confirm if Contractor is to supply J rail and provide further details to suit exhibition display requirements. Client to also confirm height of J rail and this must be installed into the existing mortar joints and not the stonework. Include for a timber batten to be fixed behind the J Rail, or a timber spacer bobbins (such as those used for cast iron down pipes), to provide a firm fixing back to the wall where the exposed stonework and plaster finishes may be uneven.

6	Decorations		
Ref	Item	Requirements	Notes
6.01	Lime wash	<p>2no. coats of lime wash to cover exposed stonework where plasterboard is removed.</p> <p>To be hot-mixed on site and burnished between coats.</p> <p>Provide a cost options for a 3rd coat if any areas of stonework are particularly dark / stained.</p> <p>The Contractor should confirm the lime products used and carry out a sample panel prior to commencing works, for approval by the Architect / Surveyor.</p>	
6.02	Plastering	<p>To areas of new plaster indicated on the proposed plans, provide a hot-mixed (non-hydraulic) lime plaster. Using Calbux CL90.</p> <p>Allow for a levelling coat and / or dubbing out to any uneven areas using a coarse haired mix, then;</p> <p>2no. Course haired base / scratch coats, then;</p> <p>Fine un-haired top coat with float finish.</p> <p>Ready to receive lime-wash finish as exposed stonework.</p> <p>The Contractor should confirm the plaster products used and carry out a sample panel prior to commencing works, for approval by the Architect / Surveyor.</p>	
6.03	Ceiling	<p>Allow for making good existing plaster ceiling following removal of existing lights and other fittings from walls.</p> <p>Provide new paint finish over existing ceiling finishes. 1no. coat trade matt white. DO NOT PAINT OVER THE TIMBER BEAMS. Provide temporary protection to avoid paint splatters over the timber beams, which are to be retained as existing.</p>	
6.04	Joinery	Prepare and decorate all new and retained joinery, including skirting window boards. All to be primed and 2no. coats satinwood white paint finish.	

7	External Works (ramp)		
Ref	Item	Requirements	Notes
7.01	Take up pavers	Stone flags to all be carefully taken up and safely stacked on site and sorted. Contractor to brush down slabs to remove any moss/lichen/algae.	
7.02	Cutting	Cracked flags to be set aside and re-cut for re-use.	
7.03	Drainage	Install new 110mm diameter HDPE twin wall ribbed drainage pipes to existing and new gulley positions, including perforated french drain as indicated on proposed ramp layout. All to freely drain into goit. Include for a rodding point to top end of the french drain.	
7.04	New Pavers	Provide new matching stone flags to extended area of ramp as indicated on proposed ramp layout.	
7.05	Re-pointing	Hot-lime mortar to low level of wall as indicated on drawing 2416-73. To be carried out after the pavers have been lifted so low level areas can be addressed.	



Phase 1

Welcome Hub.
Works to reconfigure exhibition space, remove modern wall finishes, install new lighting and heating. Refer to Chris Hill Architects drawing nos. 24, 30, 50, 60 for details.



Phase 2

External Works to re-lay paving slabs to create new ramp down to proposed playground. Refer to Chris Hill Architects drawing nos. 71, 72, 73 for details of ramp; and Timberplay document 250304-TP-REV-A-AIH-DOC for details of playground.

A) Location of proposed ramp
B) Location of proposed Playground



Phase 3

Area of upper car-park to receive new macadam finishes, line-marking, and sign board. Refer to drawing no. CHA 2310 2-22 for details. Refer to document 'SMT 01' for details of the proposed lectern sign board in the car park.



Phase 4

Locations for various new electrical installations to improve lighting and interpretation in museum spaces. Refer to document 'SMT 02' for proposed works to:

A) Crucible Furnace
B) Tilt Forge
C) Grinding Hull

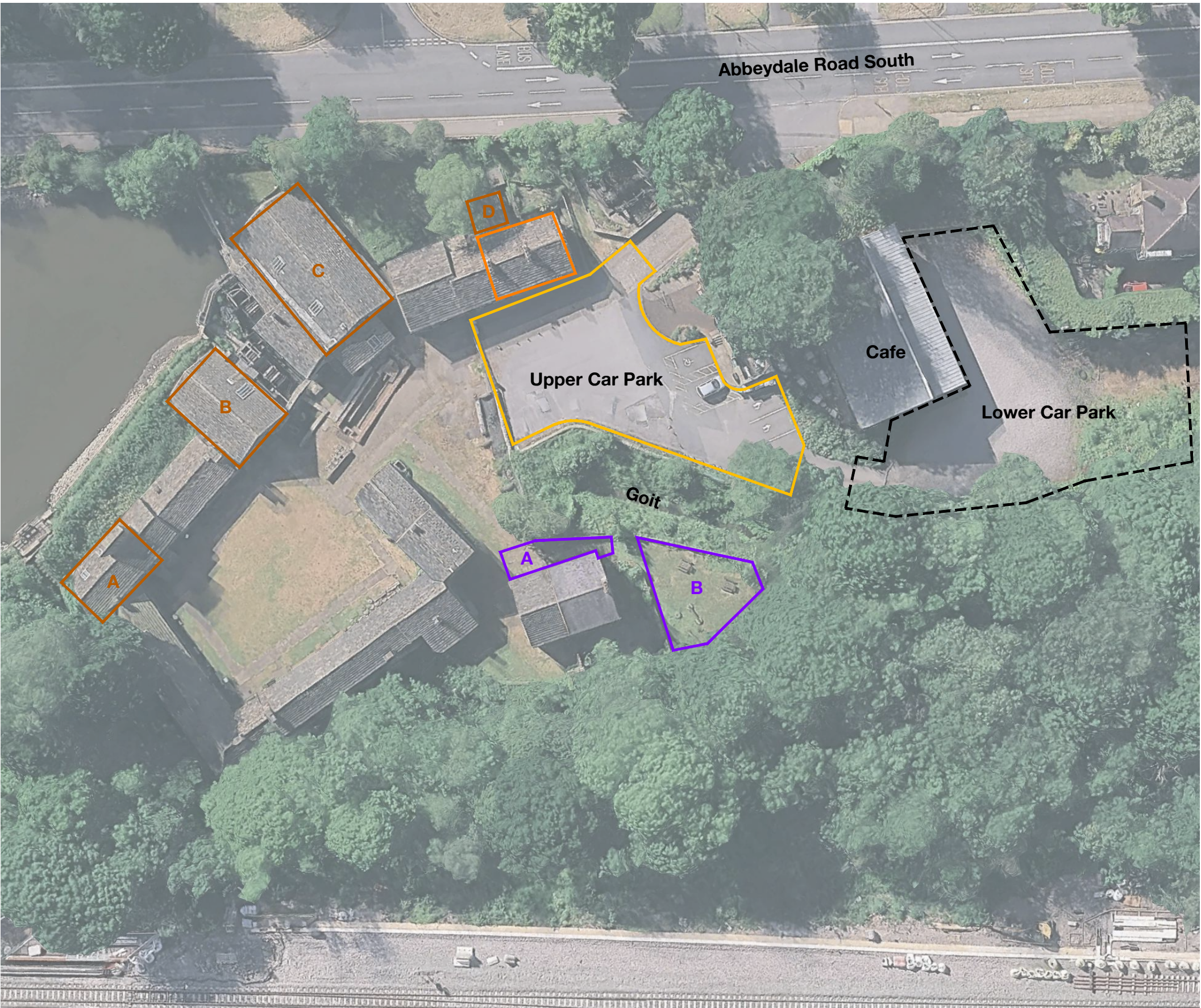
As part of This phase of works, improvements to the Volunteers Hub, including new tea-point, wall finishes and flooring are proposed. Refer to document 'SMT 03' for proposed works to:

D) Volunteer Hub



Phase 5

Future improvements to the lower car-park (not part of this application. These works are outside the Scheduled Monument Boundary and have received planning approval separately from Sheffield City Council (application ref: 23/00261/FUL).



TITLE
LOCATION / PHASING PLAN

PROJECT
AIH - WELCOME HUB

PROJECT No.	DRAWING No.	REVISION
CHA 2410	01	A
SCALE NTS	PAPER A3	DATE 24.03.2025
		AUTHOR CH

SMC APPLICATION

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Refer to asbestos refurbishment survey and latest asbestos register before commencing works.

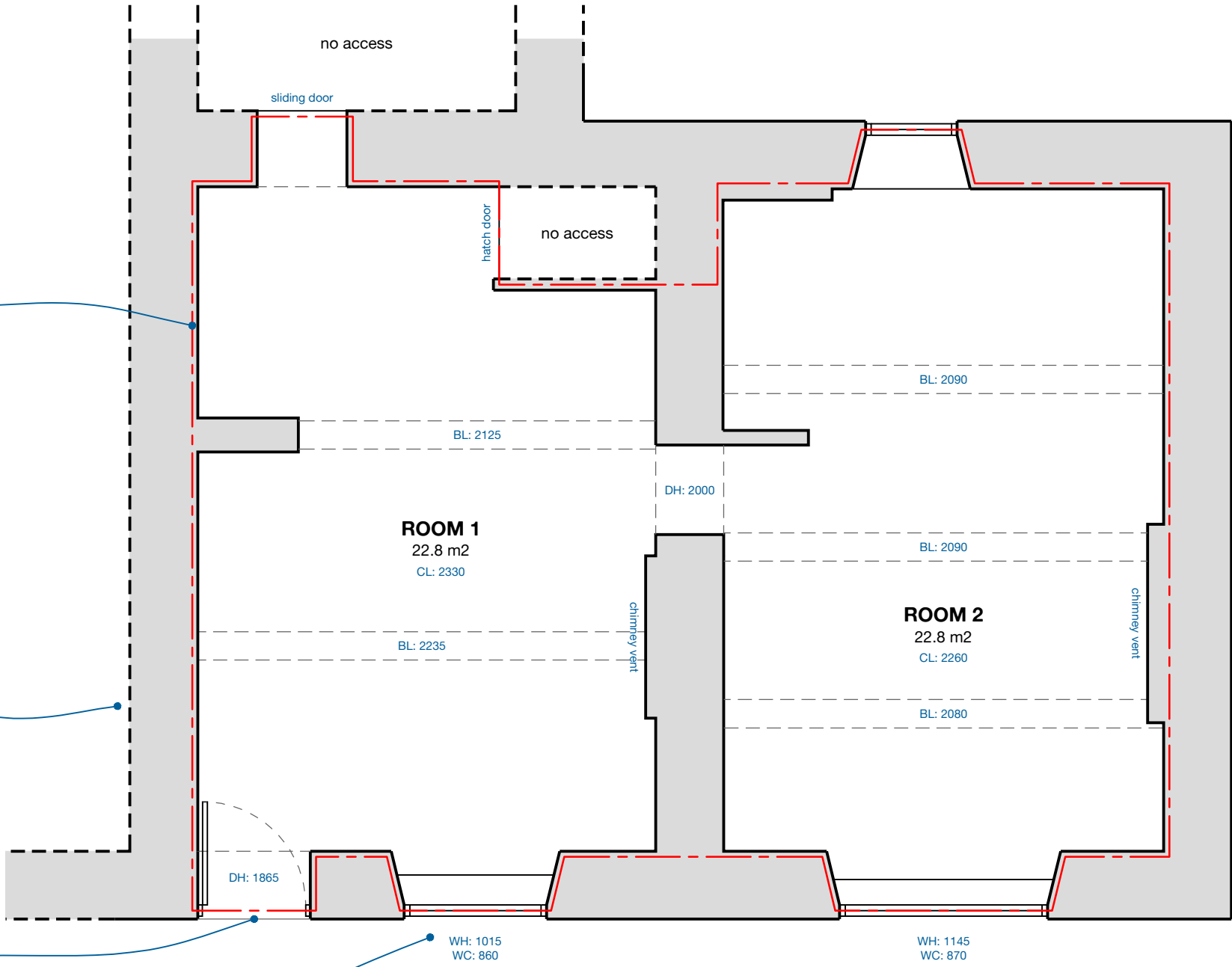


Red line boundary indicates extent of works.

Adjacent exhibition space (not surveyed). Access to site welfare via steps on this side of the wall.

Note: Reduced size of doorway. This is the only means of access and the door and frame should be protected during the works.

Provide protection to glazing to all windows in the exhibition rooms during the works.



TITLE
EXISTING PLAN

PROJECT
AIH - WELCOME HUB

PROJECT No.
CHA 2410

SCALE
1:50

PAPER
A3

DRAWING No.
10

DATE
26.05.2025

REVISION
F

AUTHOR
CH

TENDER

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Dust / noise exposure while carrying out strip-out / demolition in a confined space. Always wear respirators and eye protection. Provide dust extraction.



Dashed orange line indicates extent of dry lining (plasterboard) to be carefully stripped off, including damp proofing membrane, and original stonework to be exposed. Allow for removing all fixings associated with the damp mebrane and making good the stonework using a hot-mixed lime mortar.

Dashed purple line indicates extent of plaster render to be carefully and progressively hacked off with hand tools only. It is strongly advised that the Client's Surveyor is present at the commencement of this activity. Avoiding damage to the underlying stonework takes precedence, and if the plaster proves difficult to remove then it is preferable to retain the existing plasterwork in place.

Proposed new opening in structural wall. Structural engineer to confirm minimum end bearing and specification of new lintels.

Cross hatched area indicates extent of existing vinyl to be neatly cut out and carefully removed. To allow for new barrier matting to be installed. Set aside cut out section of vinyl sheet to be re-used to cover the floor within the new structural opening through the wall.

Remove sliding door to the 'volunteers hub'.

Boxing out / nib in this location to be investigated, may be providing support to the stair above.

Back window: Retain plaster to reveals and remove plaster above and below window opening. Remove curtain track.

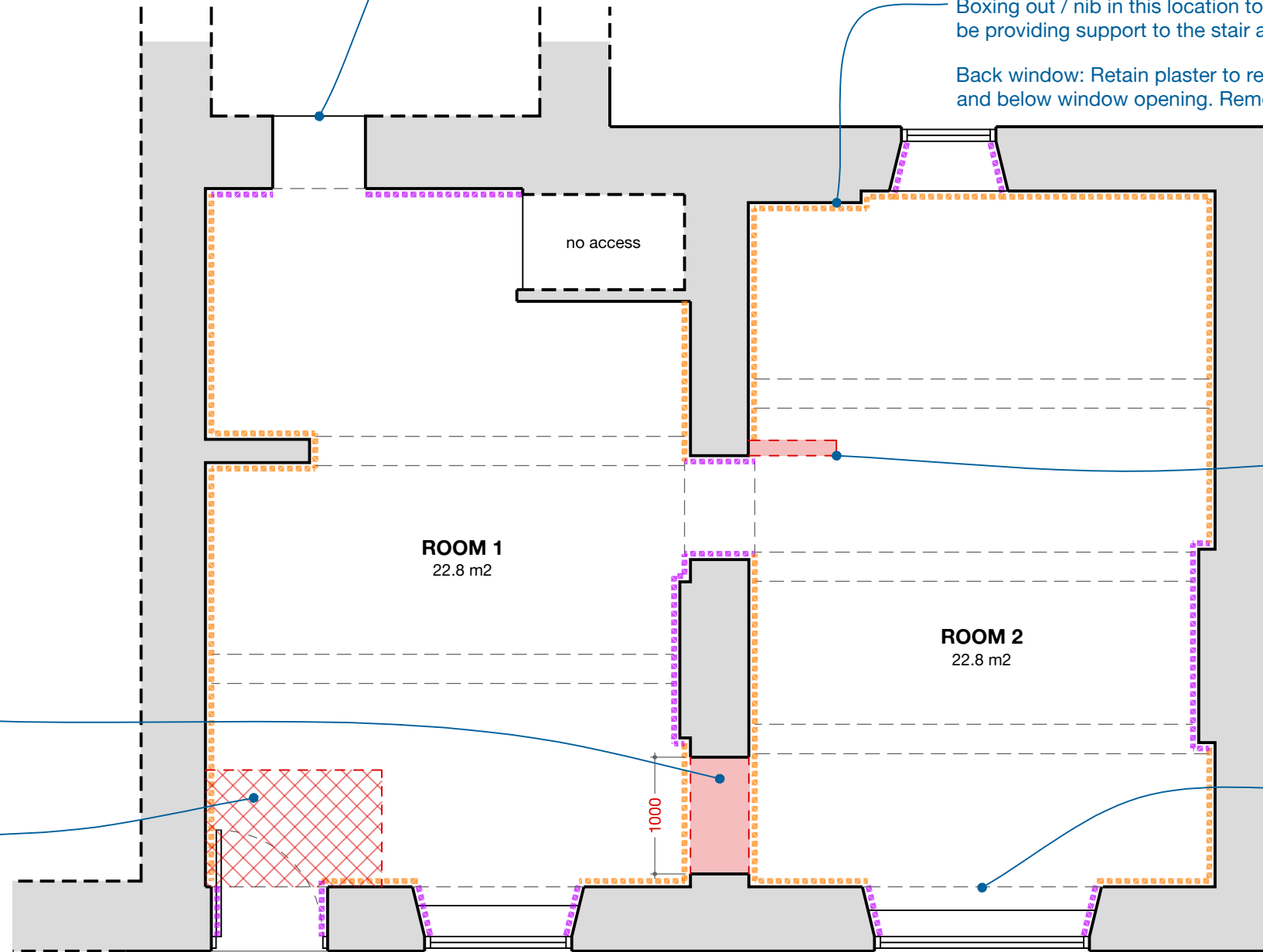
Modern stud partition wall to be removed.

Include for removing plaster to underside of window head reveals to all windows.

Front windows: Retain plaster to reveals and beneath window cill. Remove curtain track.

PLEASE NOTE:

The contractor must arrange for a site meeting with the Client and their Architect/Surveyor to inspect and review the condition of the walls once the surface finishes have been removed. If removing areas of surface finish is likely to damage the substrate, the Contractor should contact the Architect/Client's Surveyor for instructions as soon as possible. Once the post-surface-finishes removal meeting has taken place, replacement finishes/paints will be confirmed to the contractor.



DEMOLITION PLAN

PROJECT
AIH - WELCOME HUB

PROJECT No.

CHA 2410

SCALE
1:50

PAPER
A3

DRAWING No.

24

DATE
26.05.2025

REVISION

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CH

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GENERALLY:

Contractor to be responsible for completing the electrical design information and provide relevant certification to satisfy building control on completion of the works.

All new electrical installations to be installed by a competent person and in accordance with latest edition of the IET wiring regulations and Approved Document Part P.


Works to include all wiring, first fix and second fix to all electrical items. Confirm with Client the final positions for all fittings and switches prior to the first fix.


All new electrical connections to be surface mounted, connected using galvanized conduit drops from ceiling, with galvanized conduit clips to fix back to mortar joints in wall. Consult Client on exact positions for conduit drop locations so avoid clashes with exhibition display mounting and avoid conduit in obtrusive locations. All conduit to be pre-finished in suitable black spay-applied paint to match appearance of switch plates. Use black headed screws for all fixings.


All existing electrical fittings, wiring, to be removed, including storage heaters.


Colours for all electrical items to be confirmed by Client.


Key:


- 


Ikea NYMÅNE ceiling spotlight with 4no. directional spots. White.
- 


Track lighting (Client to confirm colour / specification).
- 


Recessed ceiling emergency LED lighting in accordance with BS 5266-1. White.
- 

Light switch, positioned 1200mm above floor level. MK CONTOURA (black finish with colour matched inserts) or similar surface mounted switch plates.
- 

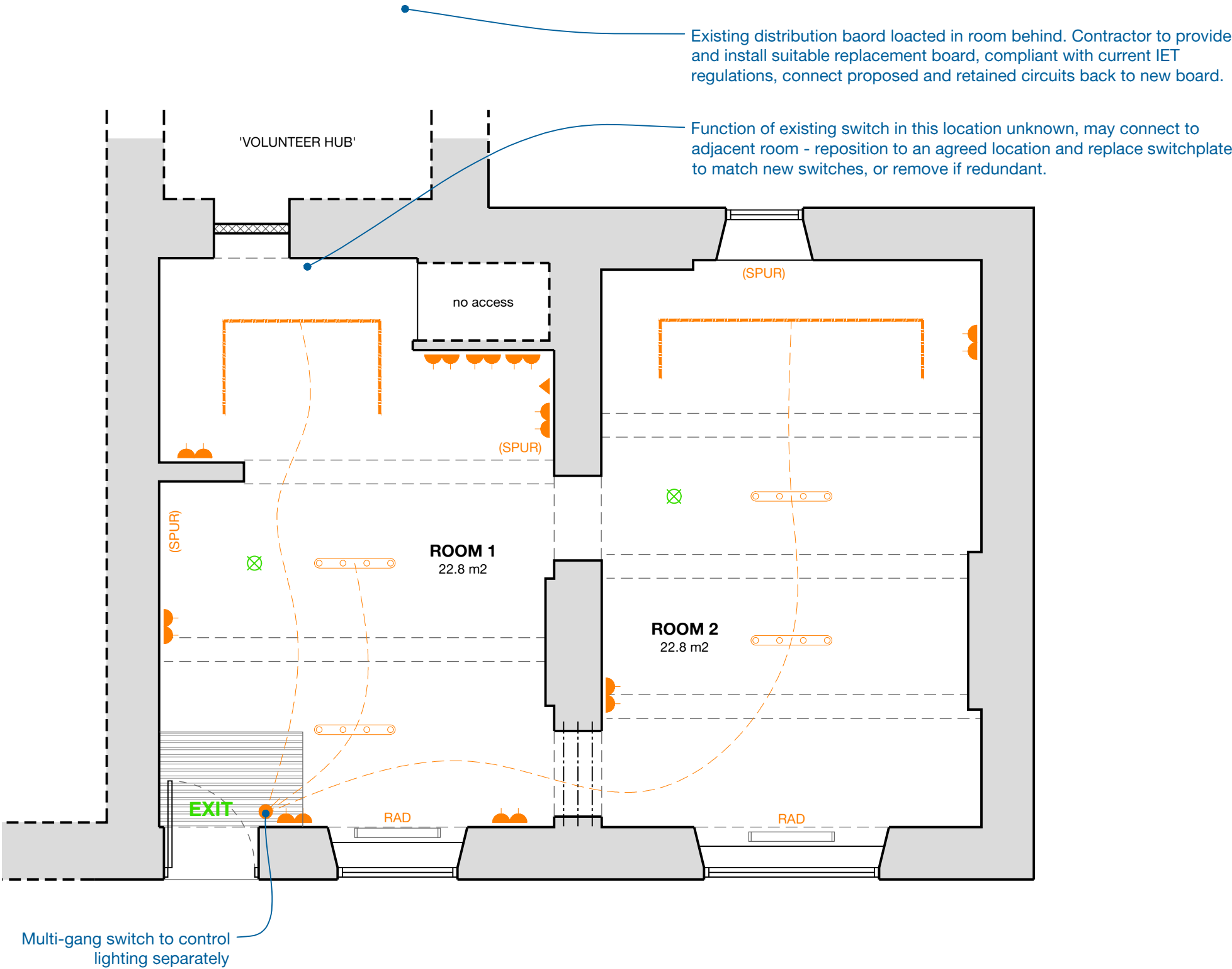
Double switched socket. MK CONTOURA (black finish with colour matched inserts) or similar surface mounted switch plates. Positioned at 450mm above floor level. Include for any additional sockets or fuse spurs as required for radiators or other fixed appliances or services.
- 

CATV / Data point linked to Client's existing data / wi-fi installation.
- 

RAD
- 

(SPUR)
- 

EXIT



TITLE
ELECTRICAL LAYOUT

PROJECT
AIH - WELCOME HUB

PROJECT No.
CHA 2410

SCALE
1:50

PAPER
A3

DRAWING No.
30

DATE
26.05.2025

REVISION
G

AUTHOR
CH

TENDER

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Make good ceiling to perimeter of room at top of wall where plasterboard linings to wall are to be removed from walls. Allow for inserting a small strip of plasterboard to fill any extensive gaps, tape to existing ceiling with alkali-resistant joint re-enforcement tape and locally re-skin. Allow for re-painting ceilings throughout.

Existing ceiling.

Red dashed line indicates existing plaster finishes removed from walls.

Provide a wood-wool board, affixed to underside of lintels as a carrier for new plaster finishes to underside of doorway, Include for alkali-resistant reinforcement mesh around all corners to be embedded in base coat of plaster.

Lintel(s) to S.E specification.

Stonework on reveals to be made good and re-pointed / reconsolidated when making new opening, ready to receive new lime plaster finishes.

Skirting Boards:

New softwood skirting boards to full perimeter of both exhibition rooms to base of wall. Min 175mm high, traditional Victorian 'lamb's tongue' profile. Installed following removal of vinyl coving and plaster finishes. Include for extra caulking behind skirting to accommodate uneven wall surface of exposed masonry behind. Skirting must be fitted with a 10mm gap above the floor finishes to allow for ventilation of the base to the wall. Do not caulk the ventilation gap under the skirting. All skirting to be primed and painted before installation in white satinwood finish. Timber must be free of knots as far as practical and include for knotting solution to any small knots. Use full length boards to avoid visible joint lines in boards. Mechanically fixed into mortar joints.

Re-used section of sheet vinyl to be welded to existing with a clour matched welding rod.

Existing slab.

Provide a cementitious screed over the remains of the base of the wall under the new opening, laid flush with the existing slab, to provide a level substrate suitable for laying re-used section of vinyl.

1:10
200mm
500mm
1 M



TITLE

DOOR OPENING SECTION

PROJECT

AIH - WELCOME HUB

TENDER

PROJECT No.

CHA 2410

DRAWING No.

50

REVISION

C

SCALE

1:10

PAPER

A4

DATE

15.05.2025

AUTHOR

CH

Lime used in pointing / plastering / lime-wash is highly alkali, exposure to skin and eyes can cause burns. Appropriate skin and eye protection to be worn during mixing and application.



PLEASE NOTE:

Materials for surface finishes should not be procured until the Contractor, Client and Architect/Client's Surveyor have met following the removal of the existing surface finishes and a proposal has been agreed between all parties.

Remove existing sliding door and construct timber stud-work to infill doorway at mid point of wall to form a niche on both sides of wall. Studwork to be lined with 12mm OSB pattress and 12mm plasterboard on both sides. 3mm gypsum skim over plasterboard only. Client to advise on any requirement for shelving / display cabinet within niche.

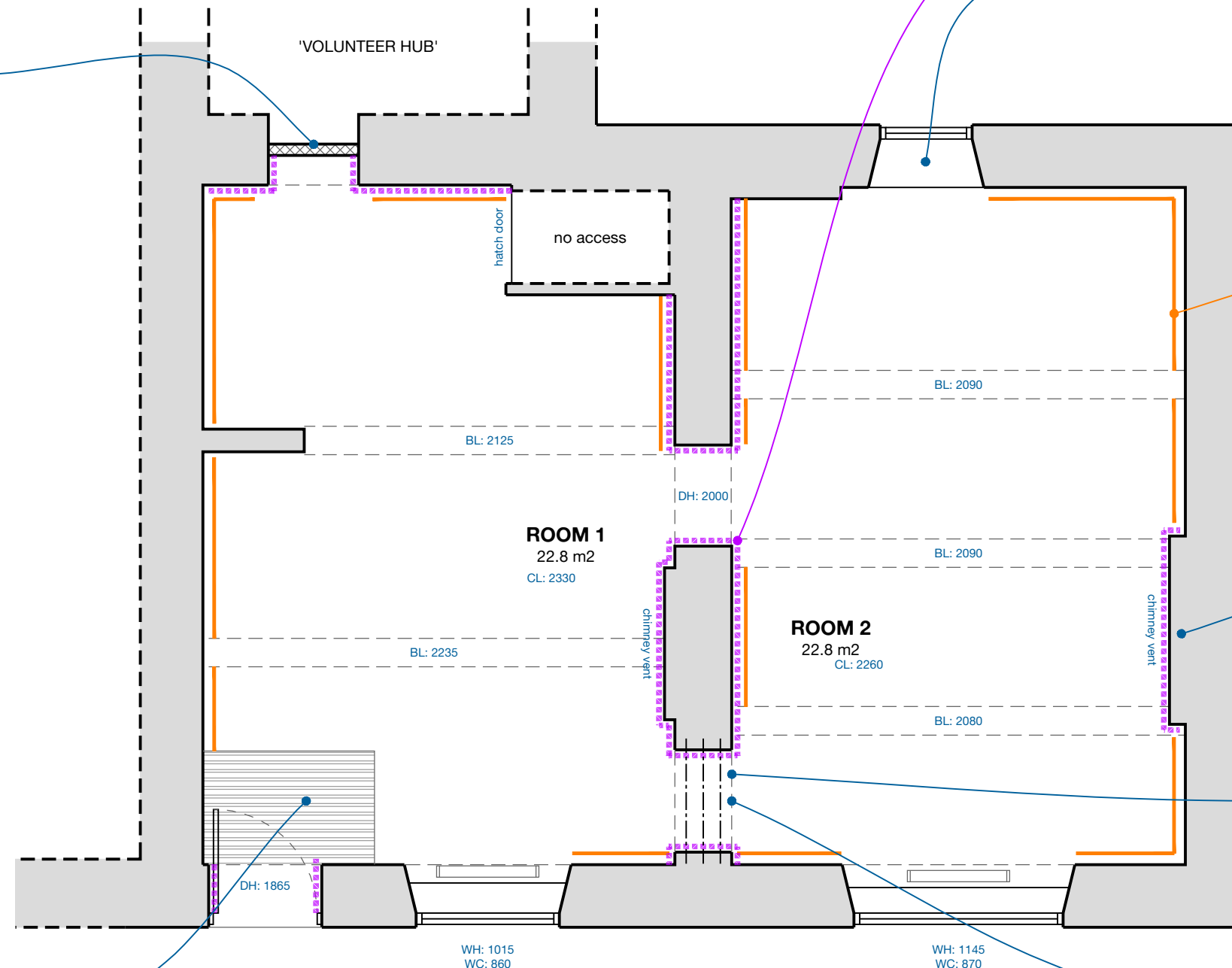
Wall Finishes:

To all wall surfaces, including exposed stonework, retained and newly plastered surfaces (including lime plaster and gypsum plaster to stud-work infill) - apply a minimum of two no. coats of lime-wash, to be hot-mixed on site. Contractor to provide cost for optional 3rd coat if required to achieve desired appearance.

Ceiling finishes:

Provide 1no. coat trade matt white paint to all existing plaster ceilings. All existing timber beams to be protected to prevent paint splatters and make good with black paint finish as existing.

New barrier matting, dark brown / natural coir colour, fully adhered to existing slab, colour / supplier to be confirmed by Client. Thickness to be not more than 10mm to avoid creating trip-hazard. Include for a black aluminum threshold strip fixed down to slab and capping over transition between floor finishes.



Purple dashed lines indicate extent of new lime plaster.

All windows: Provide and fix new softwood architraves between plaster finish on window reveals and exposed stonework on surrounding wall. Profile of architraves to match skirting, and be 75mm high. Positioning to be reviewed on site with Surveyor / Architect once stonework has been exposed.

Orange lines indicate proposed 'J rail' fixing at high level to support exhibition display boards. Refer to heritage statement for image of rail system. To be affixed to wall over a timber batten or spacer bobbins to compensate for any unevenness in the wall surface, in particular exposed stone walls. Level of J rail to be confirmed by Client.

To both fire places, provide new ventilation grille to replace white plastic grilles. New grille to be black powder coated aluminum, such as 'Yesterhome - Kenrick Hit & Miss Air Vent - 9 x 6 Inch' fixed with black headed screws.

Section of vinyl cut-out from area of new barrier matting to be re-used to cover floor under new door opening. Hot-weld joint with a colour matched vinyl welding rod.

Front windows: Retain plaster to reveals and beneath window sill.

New structural opening. Lintel(s) to S.E design. Underside of lintel at 2.0m (to match level of adjacent doorway). See drawing no. 50 for details.



DECORATION PLAN

PROJECT
AIH - WELCOME HUB

PROJECT No.
CHA 2410

SCALE
1:50

PAPER
A3

DRAWING No.
60

DATE
26.05.2025

REVISION
F

AUTHOR
CH

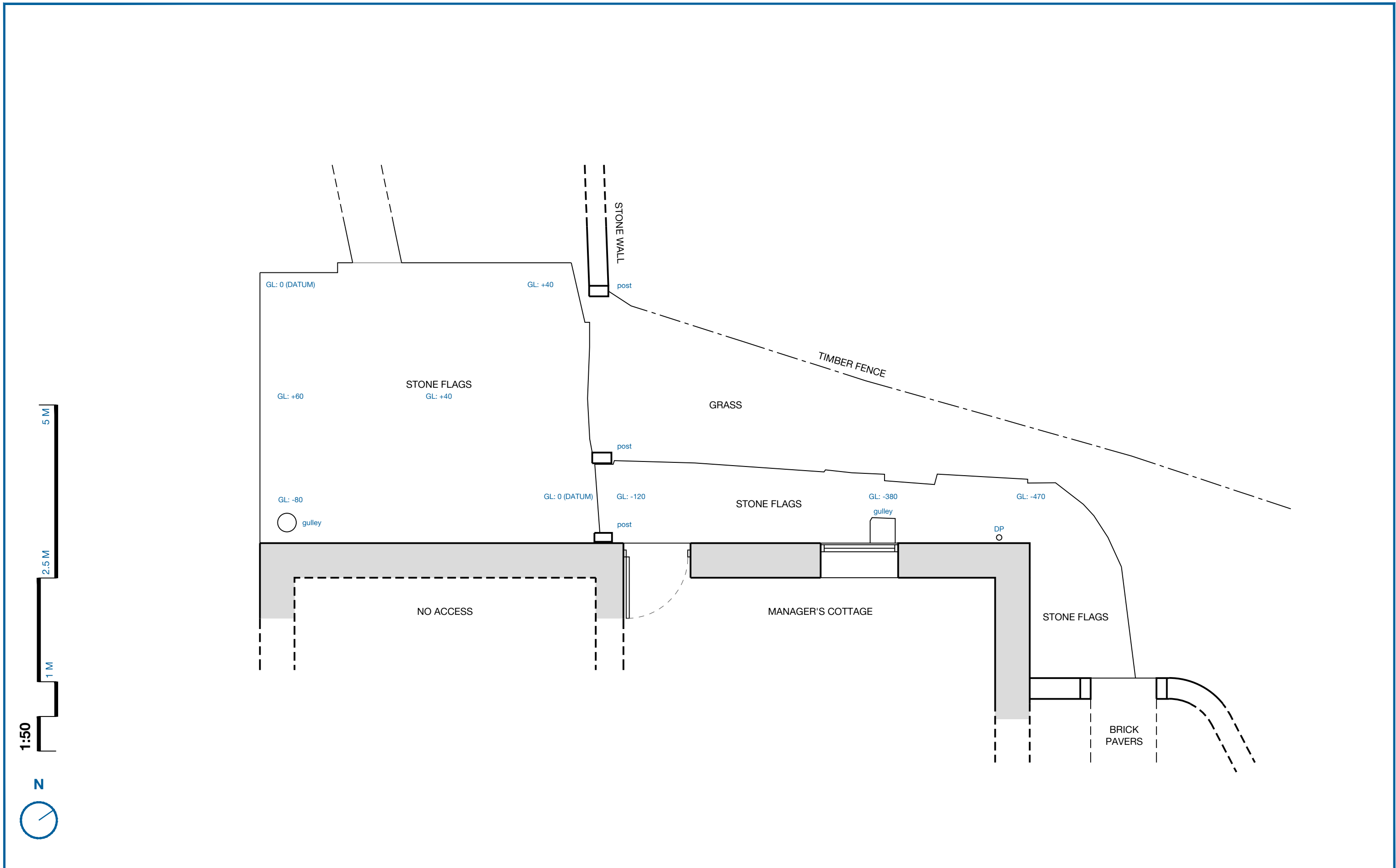
TENDER



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CHRIS HILL ARCHITECTS

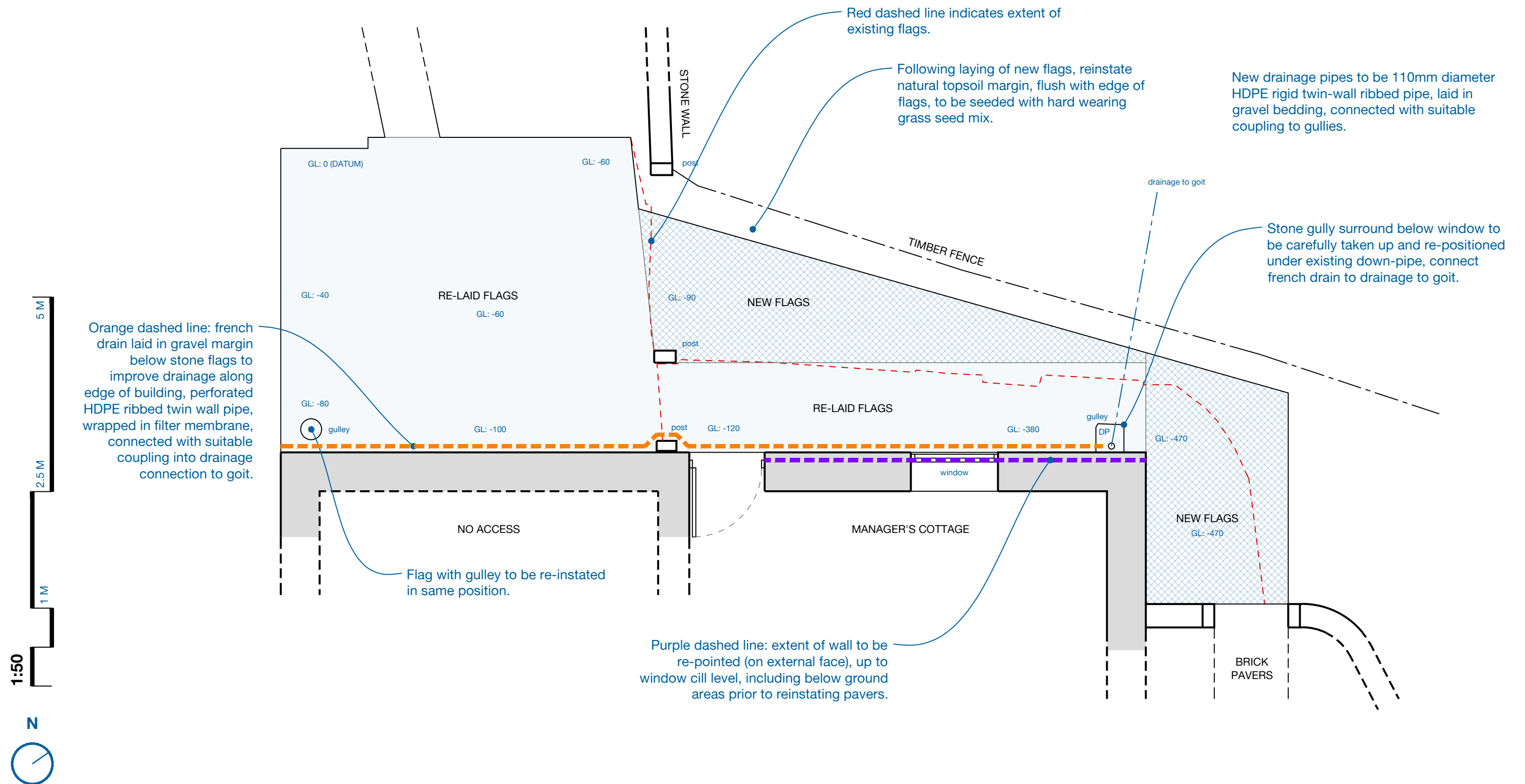
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	TITLE		PROJECT No.	DRAWING No.	REVISION	TENDER	CHRIS HILL ARCHITECTS
	EXISTING RAMP		CHA 2410	71	A		
	PROJECT		SCALE	PAPER	DATE	Only scale from original copies of this drawing, check all dimensions on site. This drawing to be read in conjunction with all relevant drawings, and for use in this project only. © copyright (chris hill architects) exists on all information and designs contained upon this drawing.	T: +44 7478532498 E: chrishillarchitects@icloud.com
	AIH - PLAYGROUND RAMP		1:50	A3	15.05.2025		

The Contractor must arrange for a site meeting with the Architect / Client's Surveyor to review the paving layout and bonding patterns when the quantity and sizes of existing flags that are suitable for re-use has been clarified following the taking up and re-cutting of cracked flag stones.



PROJECT

AIH - PLAYGROUND RAMP

SCALE 1:50 PAPER A3

DATE
15.05.2025

AUTHOR
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Orange dashed line: Extent of re-pointing to wall. Using non-hydraulic (hot lime) mortar mix comprised of Buxton Calbux CL90 and a suitable well-graded local aggregate to match the appearance of the existing mortars. The Contractor must complete a small sample panel for approval by the Architect prior to commencement.

Stone gulley surround to be repositioned under existing down-pipe, flush with surrounding flags over 110mm diameter universal roddable gulley set into mortar haunching.

Note: there may be a connection to the kitchen sink inside the building, this should be investigated and if possible connected to the new french drain.



TITLE

RAMP DETAIL

PROJECT

AIH - PLAYGROUND RAMP

PROJECT No.

CHA 2410

SCALE

N/A

PAPER

A3

DRAWING No.

73

DATE

15.05.2025

REVISION

B

AUTHOR

CH

TENDER


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Christopher Hill RIBA

Chartered Architect

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CHA 2416 - Abbeydale Industrial Hamlet Welcome Hub

Revision: B

Project description	Works to the visitor centre at Abbeydale Industrial Hamlet.
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Purpose	This design risk register has been prepared by the Designer in accordance with the Construction and Design Management Regulations (CDM) 2015, and is to be read in conjunction with all project documentation included in the Tender Pack. Any discrepancies are to be raised with the Project Manager. This is a live document, subject to updates as new risks are identified or existing risks evolve.
Limitations	The register highlights key risks known at the design stage but does not claim to capture every potential hazard that may arise during the construction phase. Typical risks associated with building work in general, such as manual handling, slips and trips, or risks associated with using any equipment at the contractors discretion are not listed in this document, and it is expected that the contractor will have experience in mitigating day to day risks associated with construction. It is the responsibility of the Principal Contractor and subcontractors to undertake site-specific risk assessments during the construction phase and update this register as necessary.
Disclaimer	This document has been prepared using reasonably obtainable information at the time of writing. It is not exhaustive and does not replace the need for professional judgment or further assessments during construction. The Designer accepts no liability for risks not reasonably foreseeable at the design stage.

Risk ID	Activity	Hazard	Potential Harm	Risk Level (H/M/L)	Proposed Mitigation Measures	Residual Risk Level (H/M/L)
1	Existing H&S File	No existing Health and Safety File provided.		LOW		LOW
2	Present Uses	The site is a visitor attraction open to the public, who are likely to be curious about the works.	The general public may be exposed to any hazards.	HIGH	The works areas are to be closed to the public during the works.	LOW
3	General Condition	The general condition of the site is good, with no obvious structural risks visible in the proposed works areas.		LOW		LOW
4	Generally	Asbestos may be present in the building. Although the designer is not aware of any significant asbestos containing material in the areas affected by the works.	Asbestos is a carcinogenic substance, mild exposure can cause serious long term health risks.	HIGH	An asbestos register of the site exists and this information should be made available to all contractors and their workers. If further suspected asbestos is discovered this should be tested and handled appropriately in accordance with the Control of Asbestos Regulations.	LOW
5	Lime Mortar	Lime mortar is a strongly alkali material and can cause irritation and burns. The slaking process can produce temperatures in excess of 85°C.	Burns and irritation to the skin, eyes and lungs of any workers handling lime products.	HIGH	Gloves, overalls, eye protection should all be used when preparing and handling lime based materials. Respirator must also be worn when handling any powdered lime products.	LOW
6	Limewash	As with Lime mortar.	Greater risk of accidental exposure from splashes.	HIGH	As for lime mortar, eye protection must be cover goggles with indirect ventilation.	MID
7	Plasterboard Removal	Creation of dust, sharps (nails and screws) concealed behind plasterboard.	Inhalation of dust, cuts and scrapes.	MID	Conduct test removal on small areas first. Use hand tools to gradually expose substrate behind.	LOW
8	Repointing and Stone Repairs	Use of inappropriate materials (e.g., cement) for mortar repairs.	Long-term damage to stone walls, loss of visual integrity to the heritage asset.	MID	Cement based products are not specified and should not be found on site at any time.	LOW
9	Electrical Installation	Exposure to live electrical systems during works.	Electric shocks.	MID	Prohibit chasing of walls. Use surface-mounted conduits with minimal fixings. Ensure electrical supply is appropriately isolated during any demolition works and during installation of new electrical systems.	LOW
10	Drainage Installation	Environmental damage from runoff during French drain installation.	Contamination of nearby goit and water features.	MID	Install silt traps during works. Ensure French drain aligns with environmental and heritage guidelines.	LOW

11	Structural Openings	Risk of structural instability during the creation of new openings between exhibition rooms.	Collapse of masonry, falling debris on workers.	HIGH	Use propping and temporary works as per structural engineer's specifications. Retain and re-use stone arisings for making good.	LOW
12	Site Security	Unauthorized access to the construction site, particularly during public hours.	Injury to trespassers, theft or vandalism of materials.	HIGH	Erect Heras fencing and secure all access points. Install warning signage. Monitor site with periodic security checks. Communicate with site management on the nature and timing of works.	LOW

Additional Considerations

- The Contractor(s) is encouraged to return this risk register with any comments to the Principal Designer. Regular communication is critical, the contract administrator / project manager should review risks at meetings between the Principal Contractor and design team at key project stages.
- Ensure contractors and subcontractors are adequately trained for all work activities, in particular any heritage-sensitive techniques, such as hot-lime mortar application.
- Keep clear records of all assessments, monitoring, and risk mitigation steps for inclusion in the Health & Safety File.
- The Principal Contractor is responsible for implementing the mitigations identified in this register and for managing risks that emerge during construction.
- Subcontractors must review this register and integrate the information into their own risk assessments and method statements (RAMS).
- Monitoring of activities and periodic reviews of the risk register should be conducted to ensure continued relevance and effectiveness.



EMBRACE ABBEYDALE

PRE-CONSTRUCTION INFORMATION

Revision: B

Christopher Hill RIBA

Chartered Architect

ARB Registration:
096354B

+44 (0) 7478532498

Kelham Island
Sheffield

1. INTRODUCTION

This Pre-Construction Information (PCI) document has been prepared in accordance with the Construction (Design and Management) (CDM) Regulations 2015. It outlines the health, safety, and environmental considerations for renovation and accessibility works at Abbeydale Industrial Hamlet.

It must be read alongside design documents, risk assessments, and the scope of works. Updates may be issued as new information becomes available.

The following significant hazards have been identified:

- Structural instability during plasterboard removal.
- Health risks from potential anthrax in historic plaster.
- Environmental risks associated with drainage installation into the site's goit.

2. KEY INFORMATION

Project Address

Abbeydale Industrial Hamlet
Abbeydale Road South
Sheffield
S7 2QW

Client: Sheffield Museums Trust
Principal Designer: Chris Hill Architects
Principal Contractor: [To Be Appointed]

Accident & Emergency

Nearest hospital with Accident & Emergency facilities:

Northern General Hospital
Herries Road
Sheffield, S5 7AU
Tel: 0114 243 4343

Distance: ~5 miles by road

The Principal Contractor must prepare a project-specific emergency response plan.

3. PROJECT DETAILS

Abbeydale Industrial Hamlet is a Scheduled Monument and home to Grade I and II* listed buildings. The works include:

- Conversion of the Former Counting House into a 'Welcome Hub'.
- Accessibility improvements to the Manager's House and adjoining stable.
- Safety and efficiency upgrades to the car park.

The project involves:

- Controlled removal of plasterboard to expose historic stonework.
- Rewiring and new lighting installation to comply with modern safety standards.
- Improved drainage systems around the Manager's House.

Contractor responsibilities include:

- Remove plasterboard and trunking with care to avoid damaging historic fabric.
- Prepare hot-lime mortar repairs and limewash applications for exposed stonework.
- Install a French drain, design drainage connections and ensure all work aligns with drainage and ramp layout.
- Designing and executing temporary works (scaffolding and propping).

4. SPECIFIC RISKS AND HAZARDS

Key hazards

- Fragility of historic materials during demolition and construction.
- Compatibility of new materials with existing fabric.
- Protection of the goit from runoff during drainage works.
- Segregation and recycling of waste materials to minimise landfill disposal.
- Temporary fencing and controlled access points are essential to prevent unauthorised entry.
- All heritage elements must be secured during construction.
- Anthrax testing must be carried out on historic plaster if exposed.

Emergency Response Plan

- Define evacuation routes and assembly points.
- Include procedures for managing hazardous material exposure.

Contact Information

Maintain an updated directory of emergency contacts, including environmental and structural advisors.

6. MONITORING AND COMMUNICATION

- Weekly site inspections must be conducted and recorded by the Principal Contractor.
- Immediate reporting of design changes or unforeseen hazards to the Principal Designer.
- Pause work immediately if previously unrecorded heritage features are discovered.

8. MISCELLANEOUS

Compliance is required with:

- CDM Regulations 2015
- Environmental Protection Act 1990
- Building Safety Act 2023

Contractors are responsible for maintaining site cleanliness, adequate welfare facilities, and robust safety measures.

Regular Communication: Conduct risk review meetings between the Principal Contractor and design team at key project stages.

Training and Competence: Ensure contractors and subcontractors are adequately trained in heritage-sensitive techniques, such as hot-lime mortar application.

Documentation: Keep clear records of all assessments, monitoring, and risk mitigation steps for inclusion in the Health & Safety File.

The final Health & Safety File must include:

- As-built drawings and records.
- Maintenance instructions for new and historic features.
- Details of all products used for future maintenance.
- Access to drainage points should be mapped and maintained for ongoing water management.



EMBRACE ABBEYDALE

HERITAGE STATEMENT

Revision: E

Christopher Hill RIBA

Chartered Architect

ARB Registration:

096354B

+44 (0) 7478532498

Sheffield

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- 1.1. Phase 1: Welcome Hub
- 1.2. Phase 2: External Ramp & Playground
- 1.3. Phase 3: Car Park Improvements
- 1.4. Phase 4: Volunteer Hub & Exhibition Spaces
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- 2.2. Modern Preservation and Management
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4. JUSTIFICATION AND CONCLUSION



Architects
Registration
Board



1. INTRODUCTION

This heritage statement accompanies a Scheduled Monument Consent application for proposed works at Abbeydale Industrial Hamlet, one of the UK's most significant industrial heritage sites. Owned by Sheffield City Council, and managed by Sheffield Museums Trust, the Hamlet preserves a unique collection of 18th and 19th-century buildings and machinery associated with the production of agricultural tools, especially scythes. The site is both a Scheduled Monument and includes multiple Grade II* listed buildings.

The proposed works are part of a broader project supported by a £235,000 grant from the National Lottery Heritage Fund awarded in 2023. This funding aims to enhance the site's accessibility, visitor experience, and educational offering, ensuring its long-term sustainability as a community resource.

The works are planned in four phases, all be carried out over 2025. The aim is to complete the works for summer 2025 before increased visitor numbers are expected.

The proposals aim to deliver on the Sheffield Museums Trust's mission to preserve, interpret, and share Sheffield's industrial heritage, while also making the Hamlet more inclusive and engaging for diverse audiences.

Refer to drawing no. CHA-2416-01 for a location / phasing plan indicating the different phases of the works on the site. The four phases of work in this application include:

1.1. Phase 1: Welcome Hub

Internal renovations to the Former Workmen's Cottages to create a new 'Welcome Hub' providing an improved exhibition setting and retail offering to improve the site's access and economic sustainability. The works include removal of modern materials that appear to be harming the historic fabric, and deliver much needed updates to the electrical, lighting, and heating systems.

1.2. Phase 2: External Ramp & Playground

External works to the Manager's House and adjoining stable to create an accessible route to the picnic area where a new playground is proposed. The new ramp also includes drainage improvements to

address ongoing moisture damage to the exterior stonework on the Manager's House.

1.3. Phase 3: Car Park Improvements

New line marking and re-surfacing to the car park to increase the number of parking spaces while also making the site safer for pedestrians.

1.4. Phase 4: Volunteer Hub & Exhibition Spaces

Across the wider site, various minor alterations are proposed to improve the welfare facilities in the Volunteer's Hub, and the interpretation of exhibition spaces.

To the Volunteer's Hub, the dated tea-point and damaged wall tiles are to be replaced with similar fittings in the same locations, and replacement of the severely deteriorated asbestos tiles with a modern sheet vinyl. Refer to the document labeled 'SMT 03' for further details.

To the exhibition spaces, several new electrical sockets and new cabling is proposed to provide new lighting and power for sound systems to improve the interpretation of the different manufacturing spaces within the site.

1.5. Supporting Information

This heritage statement is accompanied by and should be read in conjunction with the following documents and drawings:

Phase 1 drawings (Welcome Hub):

- CHA 2416 01 Location / Phasing Plan
- CHA 2416 10 Existing Floor Plan
- CHA 2416 24 Demolition Floor Plan
- CHA 2416 30 Electrical Layout
- CHA 2416 50 Door Detail
- CHA 2416 60 Proposed Floor Plan

Phase 2 drawings (Ramp & Playground):

- CHA 2416 71 Existing Ramp Layout
- CHA 2416 72 Proposed Ramp Layout
- CHA 2416 73 Ramp Details (repointing)
- 250304-TP-REV-A-AIH-DOC (playground designs)
- Preliminary Heritage Impact Assessment

Phase 3 drawings (Car Park):

- CHA 2310 2-22 Car Park Layout
- SMT 01 - Lectern signboard details

Phase 4:

- SMT 02 - Electrical works
- SMT 03 - Volunteer room

2. SITE SIGNIFICANCE AND DESCRIPTION

Abbeydale Industrial Hamlet represents a key chapter in Britain's industrial history. Situated along the River Sheaf, it was a major centre for water-powered tool production, with the site dating back to at least the 18th century. Its significance stems from its exceptional preservation, showcasing the processes and social structures of an industrial community.



Figure 02: External view of the Workers' Cottage, the ground floor currently containing the exhibition spaces and proposed to form the 'Welcome Hub'.

2.1. Historic Development of the Site:

Abbeydale Works became operational in the 18th century, focusing on the production of agricultural tools, particularly scythes. By the 19th century, it had grown into one of the largest water-powered industrial complexes in the region.

After its industrial use declined, the site faced periods of neglect, but in 1935, the site was gifted to the City by J.G Graves, with the site still owned by Sheffield City Council.

In 1970, it was transformed into a museum, one of the earliest industrial heritage attractions in the UK.

2.2. Modern Preservation and Management

In 2021, Abbeydale Industrial Hamlet was brought under the management of the Sheffield Museums Trust, a charity overseeing six key cultural sites across the city.

Over the years the site has benefited from funding for conservation and interpretation. More recently a notable grant of £235,000 from the National Lottery Heritage Fund was secured in 2023. This funding supports ongoing projects, including the restoration of the Boring Shop and Blowing Engine Waterwheel, alongside the creation of new visitor resources including the proposed Welcome Hub and a playground.

The Hamlet remains a free-entry site, ensuring accessibility for the local community and visitors alike.

2.3. Architectural and Social Significance

In addition to the site's Scheduling as an Ancient Monument, there are two listed buildings affected by the proposals:

- The Former Counting House and Workmen's Cottages
Grade II* (List Entry Number: 1271385)
- The Manager's House and Stable
Grade II* (List Entry Number: 1246449)
- Abbeydale Works
Grade I (List Entry Number: 1004822)

The variety of Grade I & II* listed structures reflect the broad operational and social fabric of the industrial Hamlet. The Counting House served administrative functions, while the cottages housed workers, both alongside the industrial functions of the site.

The stratification of the workforce and living conditions still clear to see; with the Manager's House and its refined interior details sat alongside the utilitarian stables and workers cottages.

The Hamlet also features the last complete crucible steel furnace in the UK, working waterwheels, and intact workshops, forming a microcosm of pre-mechanised industrial production.

The site is a rich resource for understanding Britain's industrial heritage. Preserving this architectural, historical, and social significance remains a key aim of the Sheffield Museums Trust.

3. PROPOSALS AND IMPACT ASSESSMENT

3.1. Phase 1 - Welcome Hub Wall Finishes

The current interior of the the exhibition rooms, proposed to become the new Welcome Hub, are modern and unsympathetic. All the internal wall faces have been lined with gypsum plaster finishes, with exposed plastic electrical conduits, ceiling mounted fluorescent lighting, and bulky storage heaters.

The modern gypsum plaster is spalling in many areas, showing clearly where the modern finishes are not breathing, and trapping moisture. Removal of these materials from the building is considered a positive impact, allowing the underlying original fabric to breath, and slowing deterioration of the structure through excessive moisture retention.



Figure 03: Internal view of the exhibition room 1. Spalling plaster visible at the base of the doorway.

The plasterboard to the ceilings does not seem to be affected by moisture damage, removal of the ceiling finishes could cause harm to any underlying historic materials without a clear justification. Therefore no works are proposed to the ceilings other than removal of modern light fittings and replacement with visually less intrusive fittings.

To the walls, redecoration will depend on what is discovered behind the plasterboard. The original layout and decorations of the rooms are not known, so speculatively re-creating the interior based on the appearance of other parts of the site is not considered a suitable or authentic approach. We believe that the rooms once formed workers

accommodation, so a simple lime-wash finish to the walls may have been present originally.

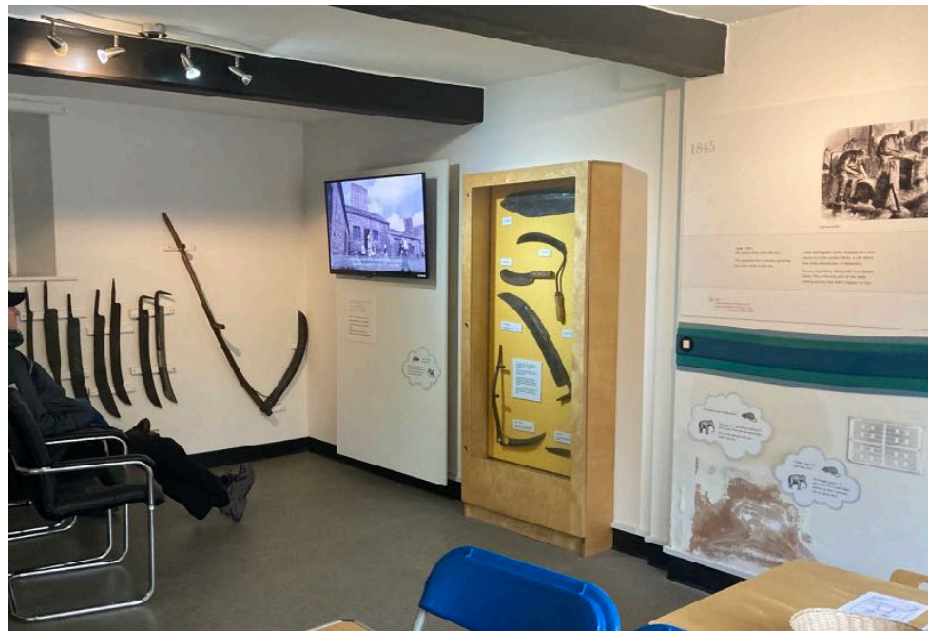


Figure 04: Internal view of the exhibition room 2, showing the chimney breast to the right with further moisture damage to the base of the wall.

Following removal of the plasterboard, we hope to discover historic plaster surfaces, original layers of lime-wash, or decorative features and joinery, all of which will need to be assessed in detail to determine what can or should be preserved. In particular, we hope that architectural features survive around the chimney breasts, which are currently featureless. There may be areas where the original stonework also requires re-pointing or consolidation before any finishes can be applied.

Sheffield Museums Trust shall work closely with the Architect (Chris Hill) and an appointed Surveyor (Simon Hollis) who will be responsible for monitoring the strip out works and documenting the interiors following the removal of the plasterboard. We intend to provide photographic evidence to Historic England to report on the condition of the walls and confirm the best course of action with Historic England before works progress further.

New displays are to be affixed to the walls using a 'J rail' system, which will require limited fixings into the wall, but allow for displays to be changed in the future without adding new fixings or affecting the fabric of the wall. An image of the J rail system components is included below, and the locations of the display rails are indicated on the proposed drawing



3.2. Phase 1 - Welcome Hub - Structural Alterations

A key aim of the proposals is to improve the presentation and visitor experience of the exhibition and the numerous artefacts that are displayed in the exhibition rooms. Currently the access between the rooms is limited to a single narrow doorway, which hinders the circulation and layout of the exhibition areas, and hinders accessibility for some wheelchair users, with the doorway between rooms not conforming to modern accessibility standards for door widths.

Initial proposals to improve the internal layout involved widening the existing doorway between the rooms, but this would prove complicated as the existing opening is constrained by the chimney breast and multiple timber beams above, which would require a more complex structural design, and result in more harm to the historic fabric.

The proposal is to create a new doorway between the exhibition rooms. This will simply involve inserting new lintels into the internal masonry wall, leaving the chimney breast and timber beams above in place. The creation of the existing doorway between the rooms has

reduced the rooms' readability and so the impact of a second opening on the overall rooms is reduced.

A detailed structural design is currently being prepared and will be made available to Historic England before this section of the works commences.

3.3. Phase 1 - Welcome Hub - Electrical Services

Following works to the walls and floors, new electrical and heating systems are to be installed.

The existing fluorescent batten lights will be replaced with surface mounted energy efficient LED track lights and directional spotlights that will be visually less intrusive within the low ceilings.

New sockets shall be provided to power any audiovisual equipment, and a contactless donation box. The sockets shall be connected with new galvanised steel conduits, which will be durable and eliminate the need to form any chases in the underlying wall substrates.

New electric panel heaters will replace the bulky storage heaters.

3.4. Phase 2a - External Works - Ramp

To the front of the manager's Cottage, the existing access route is restrictive and appears to be ineffectively discharging moisture away from the building. The existing stone flags have become displaced, cracked, presenting a significant trip hazard. This limits the accessibility to an important part of the site, and appears to be causing moisture damage to the external wall of the Manager's Cottage.



Figure 05: Overview of the existing footpath outside the Manager's Cottage.

The proposals are to lift the current flag stones, clean, and re-cut (where strictly required) for re-use. The flags are to be relaid over a re-graded sub-base that eliminates the step in the footpath outside the building, and provides a smoother and more accessible route.

The existing external levels have been measured, with the proposed levels being set out to minimise the level changes while ensuring the ramp is compliant with Building Regulations, and directing surface water away from the building.

Any new paving material required will be carefully matched to the existing. A sample can be made available to Historic England for approval. The new paving material will be limited to new areas of hardstanding that form the ramp so that the original layout of the existing flags can be still be interpreted.

3.5. Phase 2a - External Works - Drainage

The proposed ramp will provide access to a new playground, so improving drainage is an important part to improve the access conditions as well as alleviate dampness in the adjoining wall of the Manager's Cottage. Before re-laying the stone flags, a french drain is to be installed along the external wall of the Manager's Cottage, with a connection to naturally drain into the nearby goit. This intends to reduce the buildup of moisture along the base of the external wall of the Manager's Cottage where the natural ground levels fall towards the West elevation of the building.

The new drainage connection will direct water to the goit, instead of the base of the ramp where a significant puddle forms in wet weather.



Figure 06: The existing down-pipe, discharging onto the footpath. The stone flags in this area often become slippery due to algae buildup on the wet flags.

The drainage alterations are largely hidden below ground, so will cause negligible visual harm, and will reduce the risk of slips and trips in wet weather.

3.6. Phase 2a - External Works - Repointing

In conjunction with the works to create the ramp. It is proposed to locally re-point the external wall of the Managers Cottage where the exiting mortar joints in the external stonework have become severely eroded due the high moisture levels around the existing footpath.

The repointing would be carried out by an experienced bricklayer using a hot-lime mortar, mixed to match the existing mortar properties as closely as practical.

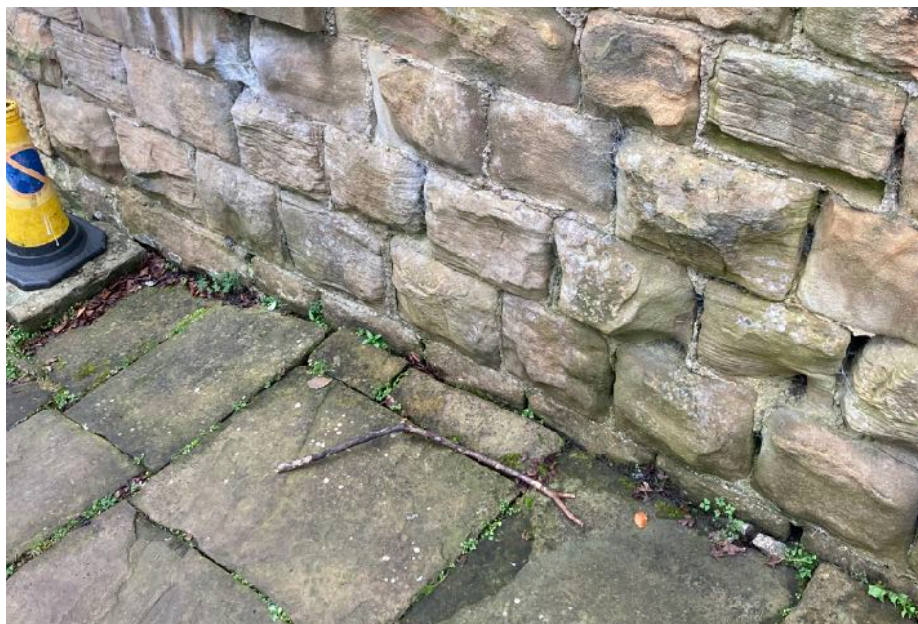


Figure 07: Damage to the stonework on the Manager's Cottage.

3.7. Phase 2b - External Works - Playground

The proposals also involve the installation of a playground to the grassed area at the base of the ramp. The proposals for the playground have been developed by a specialist installer, and are included with this application for Scheduled Monument Consent.

The Applicant has organised for archaeological investigations to be carried out in this area, which we understand has received Scheduled Monument Consent separately from this application.

Refer to the 'play proposal' document accompanying this application for details of the design of the playground. A separate Heritage Impact Assessment has been prepared for the playground and accompanies this application.

3.8. Phase 3 - Visitor Car Park Improvements

The proposals for the car park form part of a wider scheme of works to improve car access and capacity on the site. There are two car parking areas on the site, the 'upper' car park which lies in the Scheduled Monument boundary and the 'lower' car park that sits to the North-East behind the cafe building and outside the Scheduled Monument boundary.



Figure 08: Overview of the two parking areas. The upper carpark on the left, the lower car park to the right. (1) Lower car park. (2) Upper car park.

The proposals to the lower car park involve creating additional parking bays and improving the surface of the car park to accommodate more visitors. Planning approval for these works has already been granted by Sheffield City Council (application ref: 23/00261/FUL).

In conjunction with the approved works to the lower car park, this Scheduled Monument application seeks alterations to the upper car park, with the intention to improve the safety and management of the upper car park.

Currently, the upper car park does not feature any line marking, resulting in sometimes chaotic parking by visitors, which requires ongoing management by site staff to ensure that bays are not blocking emergency access and maintenance routes.

The proposals involve repairing the existing areas of macadam surface and applying new thermoplastic line marking to create a more organised parking area.

The new line marking will only be applied to macadam surfaced areas, with the historic stone cobbles being unaffected.

3.9. Phase 4 - Electrical Works

Alongside the more significant works in phases 1-3, various minor alterations to improve the experience of the site are proposed.

This includes new electrical fittings to the works buildings to provide lighting and sound systems to improve the interpretation of the site. The new lighting and sound systems intend to replicate the sounds and lighting conditions of the manufacturing processes carried out at the site when in operation as a manufacturing site.

Although the introduction of additional electrical fixtures would cause less than substantial harm to the fabric of site, this is outweighed by the benefit of communicating the atmosphere of the site. Capturing the imagination of younger audiences is a key objective to the Museum's aims, helping to educate and inspire visitors to the site.

The installation of new electrical fixtures shall use existing cable routes where possible, and fixings shall be into existing mortar joints to minimise harm to the historic fabric of the site. Refer to document 'SMT 02' for further details of the proposed electrical installations.

3.10. Phase 4 - Volunteer Room

Another part of the minor alterations to the site is a re-decoration to the volunteer's room, located behind the Welcome Hub. The room is currently under-utilised and unattractive due to the deteriorated tea-point and flooring.

Attracting volunteers with a more comfortable break-out room is a key part of the site's operational sustainability, and intends to provide more comfortable facilities for a greater number of volunteers to help manage the site and the anticipated increase in visitor numbers.

In particular the floor coverings are fairly deteriorated, and understood to contain asbestos with the floor tiles.

Replacement floor finishes and tea-point in this room with materials and fixtures of similar appearance is not considered to cause any harm to the historic fabric of the site as the removed materials are modern and unsympathetic to the site.

Refer to document 'SMT 03' for further details to the proposed alterations.

4. JUSTIFICATION AND CONCLUSION

The proposed works at Abbeydale Industrial Hamlet are justified by the preservation work achieved on the site while enhancing the functionality and accessibility for modern visitors and volunteers. The works will support the Sheffield Museums Trust's mission to safeguard the heritage of this important industrial site, provide a better experience for the public, while ensuring the buildings are more sustainable and energy-efficient.

The careful removal of modern plasterboard in the Welcome Hub will bring the building closer to its original condition, allowing its historical features to be better appreciated by visitors.

The external alterations to form the ramp outside the Manager's Cottage will improve the accessibility of the site, and reduce the harm caused by moisture damage to the external wall of the building. Also helping the site comply with modern access standards without compromising on the historic character of the site.

In the carpark, the expected increase in visitor numbers shall be better managed by a safer and more efficient parking layout.

Overall, the proposals deliver on the strategic aims of the National Lottery Heritage Fund project to ensure that Abbeydale Industrial Hamlet continues to be an important and accessible heritage site for future generations.

In carrying out these works, the Sheffield Museums Trust demonstrates its commitment to preserving the site's historical significance while making it more inclusive and welcoming to the public. The project will ensure Abbeydale Industrial Hamlet remains a vital resource for both the local community and new visitors, contributing to the ongoing appreciation and conservation of Sheffield's industrial heritage.



Mr Christopher Hill
Chris Hill Architects
Apartment 2, 4 Adelaide Lane
Sheffield
S3 8BJ

Direct Dial: 01904 601859

Our ref: S00247182

17 April 2025

Dear Mr Hill

**Ancient Monuments and Archaeological Areas Act 1979 (as amended); Section 2
control of works
Application for Scheduled Monument Consent**

ABBEYDALE WORKS

Scheduled Monument No: SM SY 1039, HA 1004822

Our ref: S00247182

Application on behalf of Sheffield Museums Trust, Leader House, Surrey Street
Sheffield, S1 2LH

1. I am directed by the Secretary of State for Culture, Media & Sport to advise you of the decision regarding your application for Scheduled Monument Consent received 17 March 2025 in respect of proposed works at the above scheduled monument concerning Description of works It is proposed to undertake the following phased works to improve visitor access to the monument.

(Phase 1) Internal alterations to the GII listed Workmens' Cottages to include:

- Removal of modern plasterboard dry-lining.
- Limewash finish to internal face of masonry walls.
- Replacement electrical fittings to include: sockets, lighting, heaters.

(Phase 2) External works to Managers House and adjoining stable, to include:

- Relaying stone flags to create level access.
- Repointing to stonework on external wall.
- Installation of new playground equipment.

(Phase 3) External works to the visitor car park to include:

- Renewing macadam surface and thermoplastic line marking for parking bays.
- Installation of new lectern sign board.

(Phase 4) Installation of new electrical fixtures and wiring to museum spaces to



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improve lighting and interpretation.

. The works were detailed in the following documentation submitted by you:

Documentation list

- . CHA 2416 Heritage Statement
- . CHA 2416 01 - Location Plan
- . CHA 2416 10 - Existing WH
- . CHA 2416 24 - Demo WH
- . CHA 2416 30 - Elec WH
- . CHA 2416 50 - Door Detail WH
- . CHA 2416 60 - Proposed WH
- . CHA 2416 71 - Existing Ramp
- . CHA 2416 72 - Proposed Ramp
- . CHA 2416 73 - Ramp Details
- . CHA 2310 2-22 - Proposed Upper Car Park Layout
- . 250304-TP-REV-A-AIH-DOC - Playground designs
- . 9766 Preliminary Heritage Impact Assessment for proposed playground
- . SMT 01 - Design for signage lectern in car park
- . SMT 02 - Details of new electrical installations
- . SMT 03 - Details of new fixtures and finishes to volunteer's hub
- . Completed SMC form dated 19th April 2024
- . Site plan of proposed work
- . Photographs of area of works
- . Visualisation of proposed windows
- . Design drawings of proposed windows

2. In accordance with paragraph 3(2) of Schedule 1 to the 1979 Act, the Secretary of State is obliged to afford you, and any other person to whom it appears to the Secretary of State expedient to afford it, an opportunity of appearing before and being heard by a person appointed for that purpose. This opportunity was offered to you by Historic England and you have declined it.

3. The Secretary of State is also required by the Act to consult with the Historic Buildings and Monuments Commission for England (Historic England) before deciding whether or not to grant Scheduled Monument Consent. Historic England considers the effect of the proposed works upon the monument to be

Phase 1 and 4 works are minimal and will not effect archaeological deposits and as such there will be no requirement for archaeological monitoring of these works.

Historic England considers that there may be an effect of the proposed works upon the monument from some of the Phase 2 works related to the lifting of flagstones and installation of new playground equipment, although these are considered to be minimal



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and unlikely to damage archaeological deposits. However these elements of Phase 2 works will require archaeological recording by Sheffield Museums Trust archaeologists.

Phase 3 works will not involve excavation below current car park surfacing, and so there will be no effect to the monument and no requirement for archaeological recording.

I can confirm that the Secretary of State is agreeable for the works to proceed providing the conditions set out below are adhered to, and that accordingly Scheduled Monument Consent is hereby granted under section 2 of the 1979 Act for the works described in paragraph 1 above, subject to the following conditions:

The following conditions are intended to ensure a degree of quality control over the works, irrespective of type:

- (i) The works to which this consent relates shall be carried out to the satisfaction of the Secretary of State, who will be advised by Historic England. At least 2 weeks' notice (or such shorter period as may be mutually agreed) in writing of the commencement of work shall be given to Andrew Burn (andrew.burn@HistoricEngland.org.uk <<mailto:andrew.burn@HistoricEngland.org.uk>>) in order that a Historic England representative can inspect and advise on the works and their effect in compliance with this consent.
- (ii) The specification of work for which consent is granted shall be executed in full.
- (iii) All those involved in the implementation of the works granted by this consent must be informed by the owner, occupier and/or developer that the land is designated as a scheduled monument under the Ancient Monuments and Archaeological Areas Act 1979 (as amended); the extent of the scheduled monument as set out in both the scheduled monument description and map; and that the implications of this designation include the requirement to obtain Scheduled Monument Consent for any works to a scheduled monument from the Secretary of State prior to them being undertaken.
- (iv) Equipment and machinery shall not be used or operated in the scheduled area in conditions or in a manner likely to result in damage to the monument/ ground disturbance other than that which is expressly authorised in this consent.
- (v) No works shall be executed other than in compliance with European Protected Species licensing and the Conservation of Habitats & Species Regulations 2010 and the Wildlife & Countryside Act 1981 (as amended).



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Additional SMC Conditions:

The following conditions are intended to ensure a degree of quality control over the works, irrespective of type:

Archaeological works

- (xxvii) The archaeological works to which this consent relates shall be carried out only by Sheffield Museums Service and their nominated excavation team.
- (xxviii) Not less than one month's written notice of the location and commencement of the excavation shall be given to Andrew Burn, Development Advice Team Leader Yorkshire, Andrew.burn@historicengland.org.uk <<mailto:Andrew.burn@historicengland.org.uk>> .
- (xxx) Any masonry remains exposed in the course of the excavation shall either be backfilled within three months (or such other period as may be mutually agreed) of the completion of the excavation or, if they are to be the subject of subsequent consolidation and display, shall be protected from the elements until such time as further scheduled monument consent has been obtained and consolidation works commence, all such protection works to be carried out to the satisfaction of the Secretary of State who will be advised by Historic England.
- (xxxi) [A] summary excavation report(s) shall be sent to [Historic England and the relevant County Sites and Monuments Record/ Historic Environment Record and address(es)] within 3 months (or such other period as may be mutually agreed) of completion of [each season of] the excavation. Within 5 years of completion of the excavation a full site archive (and assessment) shall be prepared and deposited in the County Sites and Monuments Record and a final report of the excavation (and analysis) shall be prepared and made available for publication in a vehicle acceptable to the Secretary of State advised by Historic England. The National Monuments Record shall also be invited to receive copies of both archive and report.

4. By virtue of section 4 of the 1979 Act, if no works to which this consent relates are executed or started within the period of five years beginning with the date on which this consent was granted (being the date of this letter), this consent shall cease to have effect at the end of that period (unless a shorter time period is set by a specific condition above).

5. This letter does not convey any approval or consent required under any enactment, bye law, order or regulation other than section 2 of the Ancient Monuments and



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Archaeological Areas Act 1979.

6. Your attention is drawn to the provisions of section 55 of the 1979 Act under which any person who is aggrieved by the decision given in this letter may challenge its validity by an application made to the High Court within six weeks from the date when the decision is given. The grounds upon which an application may be made to the Court are (1) that the decision is not within the powers of the Act (that is, the Secretary of State has exceeded the relevant powers) or (2) that any of the relevant requirements have not been complied with and the applicant's interests have been substantially prejudiced by the failure to comply. The "relevant requirements" are defined in section 55 of the 1979 Act: they are the requirements of that Act and the Tribunals and Inquiries Act 1971 and the requirements of any regulations or rules made under those Acts.

Yours sincerely

Andrew Burn

Development Advice Team Leader

E-mail: andrew.burn@historicengland.org.uk

For and on behalf of the Secretary of State for Culture, Media and Sport

cc Dinah Saich Dinah.Saich@sheffield.gov.uk



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2 Tender process

2.1 If you would like to be considered for this work please send your response by 9am on Tuesday 1st July 2025 to Pamela.Cunningham@sheffieldmuseums.org.uk

Your response should include:

- A contract sum analysis for the different elements of work.
- An indicative programme
- Details of any proposed sub-contractors
- H&S documents
- Your mobilisation period
- Insurance documents
- An example of your standard contract for this value of contract

2.2 Submissions will be reviewed and scored based on the following criteria and weighting:

Criteria	Weighting
Value for money	50%
Ability to deliver within the project timescale	30%
Understanding of the site and experience working with historic buildings	10%
Proactive customer service & communication	10%

2.3 Requests for information or a site visit should be emailed to :

pamela.cunningham@sheffieldmuseums.org.uk

Requests for information are available 6th- 19th June, but **site visits are only available between 14th – 19th June**. No requests for information or site visits can be offered between 20th and 31st June.

2.4 Tender process timeline

Tender Process	Date
Invitation to Tender distributed to invited contractor companies	5 th June
Requests for information and site visits available for tendering contractors	6 th - 19 th June
Site visits available for tendering contractors	13 th – 19 th June
Invitation to tender deadline	9am, 1 st July
Evaluation of responses and shortlisting	2 nd & 3 rd July
Invitation to meet emailed to shortlisted contractors	4 th July
Short-listed contractors meetings	15 th July
Final appointment(s) decided	16 th July
Commercial terms/contract agreed	20 th July
Service to commence	Dependant on mobilisation period
Debrief to unsuccessful companies	18 th - 31 st July